

West Windsor Township

Department of Community Development - Division of Land Use

ZONING BOARD OF ADJUSTMENT CHECKLIST

Bulk Variances ("C" type)
Use & Non-Use Variances ("D" type)

APPLICATION NAME: VISHAL NARULA

SUBJECT PROPERTY STREET ADDRESS/LOCATION: 14 DICKENS DRIVE

Application No.: ZB - _____ Block: 27006 Lot: 128

Zoning District: _____ Variance Requested (check all that apply, see Page 3 for definitions):
 C-1 _____ C-2 _____
 D-1 _____ D-2 _____ D-3 _____ D-4
 D-5 _____ D-6 _____

Applications shall be submitted to the Township Land Use Division during "Open Window Week" (The week of the second Wednesday of each month).

An application shall not be considered complete until ALL the documents and information listed below have been submitted and the applicant receives a letter from the Township Land Use Office deeming such application complete (letter deeming application complete or incomplete to be sent within 45 days from receipt of these submission requirements listed below).

PLEASE SUBMIT ONE (1) ORIGINAL COPY OF THE INFORMATION REQUESTED BELOW:

Submission Requirements:

Not Provided Applicable Waiver*

- | | |
|---|---|
| <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>NA</p> | <p>1. Completed original "Application to West Windsor Zoning Board of Adjustment".</p> <p>2. Completed "c" Bulk Variance Application (if applying for "c" Variance).</p> <p>3. Completed "d" Variance Application (if applying for "d" Variance).</p> <p>4. Fees: Checks made payable to West Windsor Township.</p> <p style="margin-left: 20px;">A. Application Fee, \$100.00 for "c" Variance, \$1,000.00 for "d" Variance</p> <p style="margin-left: 20px;">B. Escrow Fee - per variance request, \$250.00 for "c" Variance, \$3,500.00 for "d" Variance
Submit one (1) check for Application Fee(s) and one (1) check for Escrow Fee(s).</p> <p>5. One (1) original copy of folded and collated maps, plans and documentation showing the following:</p> <p style="margin-left: 20px;">A. Key map with legible street plan showing location of subject property with north arrow.</p> <p style="margin-left: 20px;">B. Accurate location of all property lines.</p> <p style="margin-left: 20px;">C. Zoning classification of land.</p> <p style="margin-left: 20px;">D. Tax map Block and Lot numbers.</p> <p style="margin-left: 20px;">E. Location of existing and /or proposed houses, additions, driveways, pools, other buildings and structures with accurate distances from the property lines drawn to scale.</p> <p style="margin-left: 20px;">F. For adjoining properties, distance from structures to nearest property line of subject property. Names of owners on all adjoining property.</p> <p style="margin-left: 20px;">G. Location of existing and/or proposed septic systems and wells on property.</p> |
|---|---|

West Windsor Township Zoning Board of Adjustment Checklist

Not
Provided Applicable Waiver*

✓ _____

✓ _____ NONE

✓ _____
✓ _____
✓ _____

NA ✓
_____ ✓

- H. Acreage of property.
- I. Location of all easements, public right of way, greenbelt areas (as shown in the Conservation Element of the West Windsor Township Master Plan).
- J. Identify any trees that will be removed by species and size (caliper).
- K. Existing and proposed floor plans indicating overall dimensions and square footage for each floor. All existing and proposed architectural elevations. Indicate height of structure as defined in section 200-4 (Building Height) of the West Windsor Township Land Use Ordinance.
- 6. Certification in writing from the Tax Collector that all taxes are paid in full for the current quarter.
- 7. Photos of property and existing structure (four sides).
- 8. Completed Agreement to Pay for Professional Review and Inspections.
- 9. Completed W-9 form.
- 10. Completed Residential Conformity Checklist.
- 11. Aerial photograph of subject property including lots within 200 feet of subject property. (Aerials can be acquired on-line at google.com).
- 12. NJDEP Letter of Interpretation/presence or absence of wetlands.
- 13. For D-4, D-5 and D-6 Variances, please submit tax map showing size of lots, square footage of dwellings and as to the extent known, height of dwellings and submit photos of all such dwellings identified on lots on both sides of the street of the subject property for at least five hundred (500) feet on either side of the subject property.

The following items are necessary for the Public Hearing and should be submitted to the Land Use Office by close of business of the day of the hearing (these items do not affect the completeness of the application):

- _____ A. Certified list of property owners within 200 ft. of subject property.
- _____ B. Original notice to property owners.
- _____ C. Affidavit of publication from *The Princeton Packet*.
- _____ D. Certified mail receipts showing postal date stamp from letters sent to property owners and any green receipt cards from the post office.
- _____ E. Original of Affidavit of Proof of Service.

*If waiver is requested, please attach written statement explaining why waiver should be granted.

* Once the initial copy of the application(s), plans and documentation has been submitted, the Land Use Office will review the package for accuracy. A letter will be then be sent to the applicant requesting any changes if necessary and indicating the total number of copies of documentation needed. When the requested copies are received by the Land Use Office, the application will be deemed complete and the application will be scheduled for the next available meeting of the Zoning Board of Adjustment.
(The Zoning Board of Adjustment meets the first Thursday of each month at 7:30 p.m. at the West Windsor Township Municipal Building, 271 Clarksville Road, West Windsor, NJ 08550).

<u>Variance</u>	<u>Type</u>	<u>Municipal Land Use Law (MLUL)</u>
C-1	Hardship	40:55D-70C(1) Where: (a) by reason of exceptional narrowness, shallowness or shape of a specific piece of property, or (b) by reason of exceptional topographic conditions or physical features uniquely affecting a specific piece of property, or (c) by reason of an extraordinary and exceptional situation uniquely affecting a specific piece of property or the structures lawfully existing thereon, the strict application of any regulation pursuant to article 8 of this act would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer of such property, grant, upon an application or an appeal relating to such property, a variance from such strict application of such regulation so as to relieve such difficulties or hardship.
C-2	Flexible	40:55D-70C(2) Where in an application or appeal relating to a specific piece of property the purposes of this act would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment, grant a variance to allow departure from regulations pursuant to article 8 of this act; provided, however, that the fact that a proposed use is an inherently beneficial use shall not be dis-positive of a decision on a variance under this subsection and provided that no variance from those departures enumerated in subsection d. of this section shall be granted under this subsection; and provided further that the proposed development does not require approval by the planning board of a subdivision, site plan or conditional use, in conjunction with which the planning board has power to review a request for a variance pursuant to subsection a. of section 47 of this act.
D-1	Use	40:55D-70D(1) In particular cases for special reasons, grant a variance to allow departure from regulations pursuant to article 8 of this act to permit; (1) a use or principal structure in a district restricted against such use or principal structure,
D-2	Expansion Of Non-Conforming Use	40:55D-70D(2) An expansion of a non-conforming use.
D-3	Conditional Use	40:55D-70D(3) Deviation from a specification or standard pursuant to section 54 of P.L.1975, c.291 (C.40:55D-67) pertaining solely to a conditional use.
D-4	Floor Area Ratio	40:55D-70D(4) An increase in the permitted floor area ratio as defined in section 3.1 of P.L.1975, c.291 (C.40:55D-4).
D-5	Density	40:55D-70(5) An increase in the permitted density as defined in section 3.1 of P.L.1975, c.291 (C.40:55D-4), except as applied to the required lot area for a lot or lots for detached one or two dwelling unit buildings, which lot or lots are either an isolated undersized lot or lots resulting from a minor subdivision.
D-6	Height	40:55D-70(6) A height of a principal structure which exceeds by 10 feet or 10% of the maximum height permitted in the district for a principal structure. A variance under this subsection shall be granted only by affirmative vote of at least five members, in the case of a municipal board, or two-thirds of the full authorized membership, in the case of a regional board, pursuant to article 10 of this act.

West Windsor Township

Department of Community Development – Division of Land Use

APPLICATION TO WEST WINDSOR ZONING BOARD OF ADJUSTMENT

FOR OFFICIAL USE ONLY

Application Control Number: 2321-03

Date Application Filed: 9.17.21

SECTION 1 - INFORMATION REGARDING THE APPLICANT

A) The Applicant's full legal name is VISHAL NARULA

B) The Applicant's mailing address is 14 DICKENS DRIVE
PRINCETON JUNCTION NJ 08550

C) The Applicant's telephone number is 732-778-5979

D) The Applicant's ^{Email} ~~fax number~~ is vishalnarula@hotmail.com

E) The Applicant is a: CORPORATION _____

PARTNERSHIP _____ INDIVIDUAL (S)

OTHER (please specify) HOMEOWNER

F) If the Applicant is a corporation or a partnership, please attach a list of the names and addresses of persons having a 10% interest or more in the corporation or partnership.

G) The relationship of the Applicant to the property in question is: OWNER
LEASEE _____ PURCHASE UNDER CONTRACT _____
OTHER (please specify) _____

H) If the Applicant is not the owner of the property in question, the Applicant must obtain and submit a copy of this application signed by the owner in the space provided in Section 7B.

(Note: If the applicant is a corporation seeking relief under N.J.S.A. 40:55D-70 et seq., then the Applicant must be represented by a New Jersey Attorney).

SECTION 2 - INFORMATION REGARDING THE PROPERTY

A) The street address of the property is 14 DICKENS DRIVE

B) The tax map Block Number (s) 27.06; the Lot Number (s) is 128

C) The zone in which the property is located is _____

D) The dimensions of the property are IRREGULAR

E) The size of the property is 27591 square feet/acre(s).

F) Road frontage of the property is 145^{ft}

G) The property is located:

- 1. within 200 feet of another Municipality NO
- 2. adjacent to an existing or proposed County road NO
- 3. adjacent to a State highway NO

(If any of the above apply, please make sure that all proper jurisdictional authorities ARE properly noticed and served - If there is any doubt on who should be notified, please contact the Planning/Zoning Office).

H) Have there been any previous Zoning Board of Adjustment or Planning Board hearings involving this property: YES NO



I) If the answer to "H" is YES, attach a copy of the written decision (s) adopted by the applicable Board.

SECTION 3 - INFORMATION ABOUT REQUESTED RELIEF

A) NATURE OF APPLICATION

1. Type of Variances:

"A" Variance

_____ Appeal of Zoning Officer
_____ Appeal of Alleged Error.

"B" Variance

_____ Interpretation of Development Ordinance (Subdivision, Site Plan, Zoning)

"C" Variance

_____ Bulk Variance (dimensional)

~~"D" Variance~~

~~_____ Variance including, but not limited to a use or structure not permitted in a Zoning District, Floor Area Ratio, Density~~

2. a) Subdivision _____
b) Subdivision Application to follow _____

3. a) Site Plan _____
b) Site Plan Application to follow _____

4. Waiver of lot street frontage requirement _____

5. Exception to the official map _____

B) Please attach one copy of the following forms depending on the type of application being made:

1. (a) Appeal of Zoning Officer
(b) Appeal of Alleged Error
2. (a) Interpretation of Development Ordinance
(b) Interpretation of Zoning
3. Bulk Variance (dimensional)
4. Variance including, but not limited to a use or structure not permitted in a zoning district, Floor Area Ratio, or Density

SECTION 4 - INFORMATION ABOUT EXPERTS

The following information, although not required, is respectfully requested to enable the Board to facilitate the processing of this application.

- A) Applicant's Attorney:
Name NONE
Address _____
Phone _____ Fax _____ E-Mail _____

- B) Applicant's Engineer:
Name NONE
Address _____
Phone _____ Fax _____ E-Mail _____

- C) Applicant's Architect:
Name NONE
Address _____
Phone _____ Fax _____ E-Mail _____

- D) Applicant's Planner:
Name _____
Address _____
Phone _____ Fax _____ E-Mail _____

- E) Other Experts:
Name _____
Address _____
Phone _____ Fax _____ E-Mail _____

SECTION 5 SUBMISSION OF APPLICATION:

Please submit one (1) copy of the following material to the Planning/Zoning Office during "Open Window" week, which is the week of the second Wednesday of each month:

- A) _____ Application – signed (copy of agreement with owner if being purchased)

- B) _____ One (1) set of drawings (to scale) showing all adjoining properties affected and all features involved (i.e, dimensions of present and proposed buildings, location of all structures and distances between various structures and property lines, parking layout, etc.)

- C) _____ One (1) set of applications as required by Section 3 (B) (Request for A, B, C or D Variance) [Once your application is received by the Planning and Zoning office you will receive a certified letter from the Director of Community Development outlining what, if any, changes are required. Application and escrow fee amounts and number of copies of applications and plans needed to be deemed complete will be outlined in said letter].

SECTION 6 - COMPLETE APPLICATION

Once an application has been deemed complete, the following items need to be addressed at least 10 days prior to your meeting date.

- A] _____ "Notice" of all property owners within 200 feet via "Certified Mail - Return Receipt Requested"
- B] _____ Copy of notice to the official newspaper of the West Windsor Township Zoning Board of Adjustment (contact the Planning & Zoning Office for the name of the official newspaper)
- C] _____ Notification of State or County if proposed application borders State/County Road, or is within 200 feet of such roadway
- D] _____ Notification of adjoining County or Municipality if proposed application is located within 200 feet of the proposed application.

A complete application requires the following submissions to the Planning/Zoning Office at least 3 days prior to the scheduled meeting date.

- A] _____ Return receipts from Certified letters
- B] _____ Notarized Proof of Service
- C] _____ Proof of Publication (To be provided by the newspaper to which the notification was sent)
- D] _____ Person other than the owner makes a letter or power of attorney, in case appeal is made by person other than owner

SECTION 7 - VERIFICATION AND AUTHORIZATION

A] Applicant's Verification:

I hereby certify that the above statements made by me and the statements and information contained in the papers submitted in connection with this application are true. I am aware that if any of the foregoing statements are false, I am subject to punishment.

 Vishal Narula
Applicant's Signature

B] Owner's Authorization:

I hereby certify that I reside at 14 Dickens Drive, Princeton Junction, NJ 08550
in the County of Mercer and State of NJ and that I am
the owner of all that certain lot, piece or parcel of land known as Block (s) 27-06
Lot (s) 128 on the Tax Map of West Windsor, which is the subject of the above
application, and that said application is hereby authorized by me .

VISHAL NARULA
Owner's Name (PRINTED)

 Vishal Narula
Owner's Signature

Owner's Telephone and Fax number _____

West Windsor Township

Department of Community Development - Division of Land Use

REQUEST FOR VARIANCE INCLUDING, BUT NOT LIMITED TO A USE
OR STRUCTURE NOT PERMITTED IN A ZONING DISTRICT,
N.J.S.A. 40:55d-70d
(For "d" Use and Non Use Variance)

--ATTACH TO ZONING BOARD APPLICATION

CONTROL NO. _____

Property Location 14 DICKENS DRIVE Zoning District _____

Map _____ Block 27-06 Lot 128

--COMPLETE A - E, (Attach support documents as required)

A - Describe below the specifics of the variance request.

OVER THE F.A.R. REQUIREMENT

B - Describe below the special reasons which exist that support the granting of the variance request.

THE SUNROOM WILL GO INTO A CORNER
AND NOT PROJECT MORE THAN EXISTING
BUILDING LINE AND IS OVER AN
EXISTING PATIO

C - Describe how the public interest will be served by the granting of the variance request.

THE POSITION OF THE SUNROOM
IS NOT IN VIEW OF ANY NEIGHBORS

D - Describe what circumstances exist or what measures will be taken to ensure that, if the variance is granted, the surrounding property owners will experience no adverse impact or undue burden.

THE POSITION OF SUNROOM WILL NO BURDEN OR HAVE ADVERSE IMPACT ON SURROUNDING PROPERTY OWNERS DUE TO ITS LOCATION AND WILL BE IN A CORNER WITHIN THE EXISTING PROPERTY LINES

E - Describe how the granting of the variance request will not result in substantial detriment to the public good nor substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

AS STATED THE SUNROOM WILL BE IN A CORNER AND WILL HAVE NO IMPACT ON NEIGHBORS

Options

Photos

Reset

Info



WALL

12:10 PM Sat Apr 24

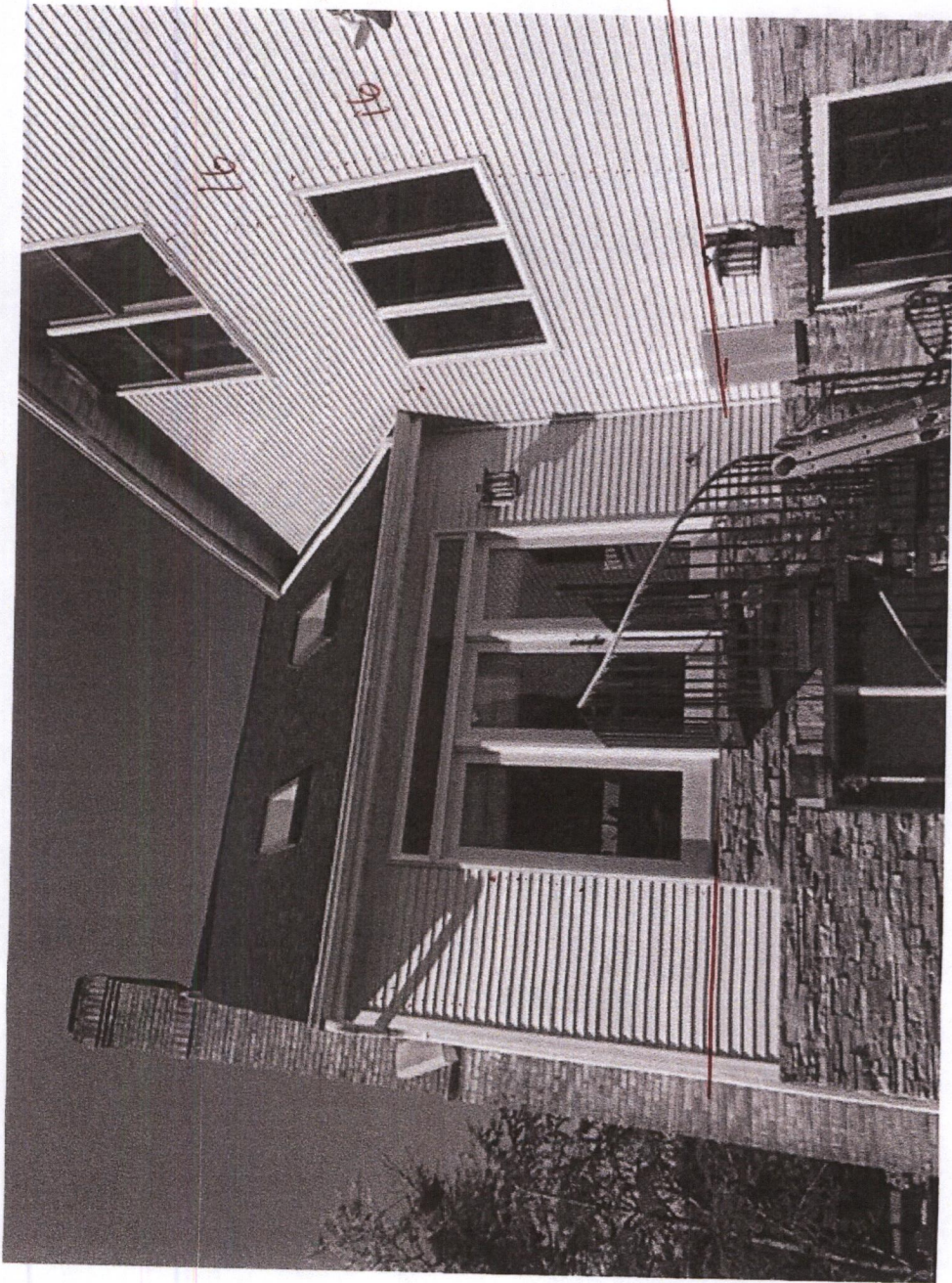
Today
12:09 PM

LTE 6%



Edit





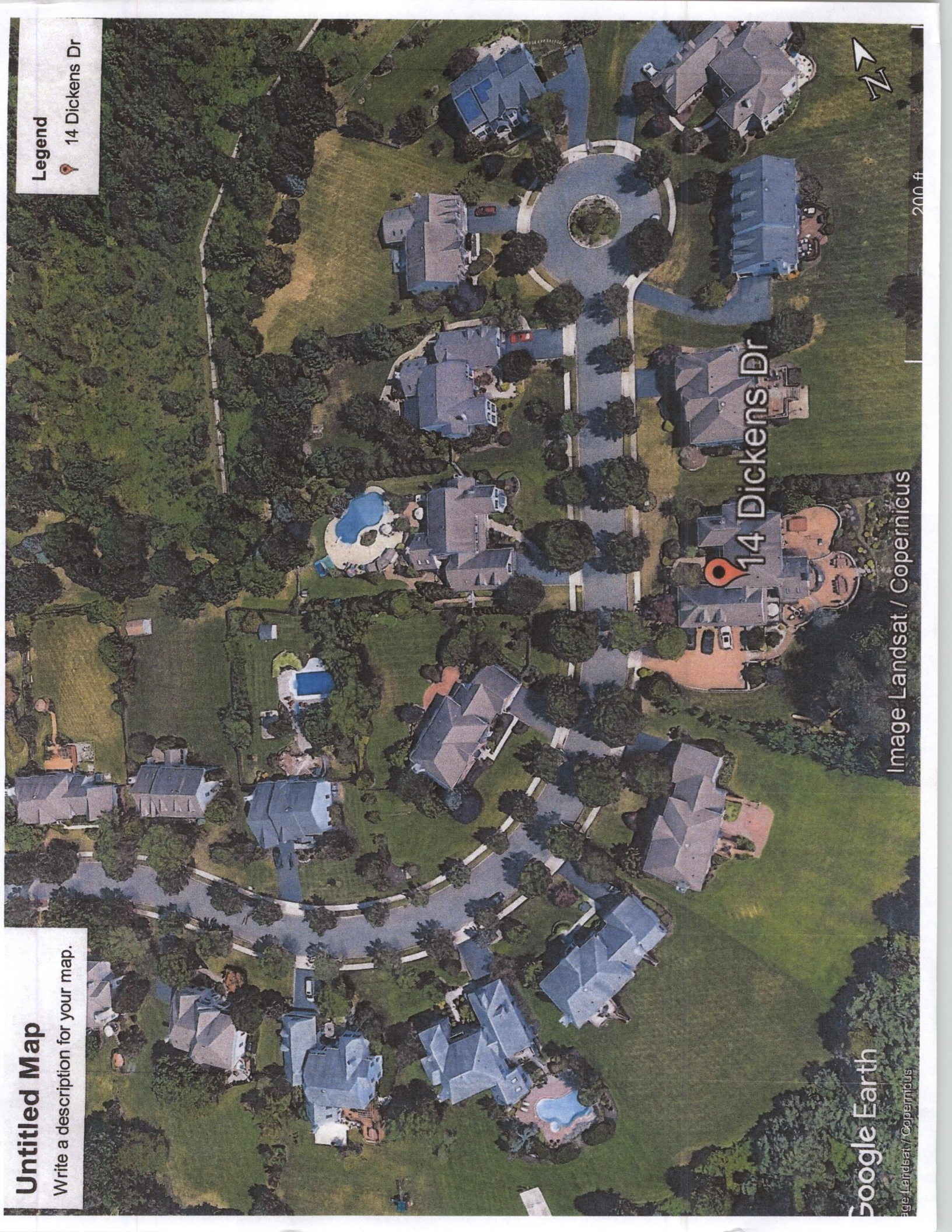
13

Untitled Map

Write a description for your map.

Legend

 14 Dickens Dr



Google Earth

Image Landsat / Copernicus

Image Landsat / Copernicus

200 ft





WEST WINDSOR TOWNSHIP

DEPARTMENT OF COMMUNITY DEVELOPMENT
DIVISION OF LAND USE

October 23, 2015

Vishal & Mamta Narula
14 Dickens Dr.
Princeton Junction, NJ 08550

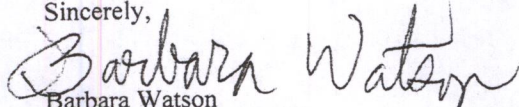
RE: ZB 15-03
Vishal & Mamta Narula
"c" Bulk Variance
Block 27.06, Lot 128

Dear Mr. and Mrs. Narula:

Attached for your records please find a copy of the Resolution of Memorialization regarding the above-referenced application, which was adopted by the West Windsor Township Zoning Board of Adjustment on October 22, 2015.

If you have any questions, please contact this office.

Sincerely,


Barbara Watson
Zoning Board Secretary

/bw
Attachment

c: ZB15-03
File B/L
Samuel J. Surtees
Ed Schmierer, ZBA Attorney
John L. Roeder, Chair, ZBA
Steve Benner, Tax Assessor

**RESOLUTION OF MEMORIALIZATION
WEST WINDSOR TOWNSHIP ZONING BOARD OF ADJUSTMENT**

In the Matter of the Application of Mamta and Vishal Narula for a Bulk Variance to Exceed Permissible Maximum Improvement Coverage for 14 Dickens Drive, Block 27.06, Lot 128, West Windsor Township Tax Map.

Resolution in File No. ZB 15-03

Be it resolved by the West Windsor Township Zoning Board of Adjustment (hereinafter referred to as the "Board") that the following findings of fact and basis for decision involving the above-referenced application considered by the Board on July 23, 2015 are hereby memorialized.

FINDINGS

FINDINGS REGARDING THE APPLICANT:

1. Vishal and Mamta Narula (hereinafter referred to as the "Applicants") are the owners of 14 Dickens Drive, said property designated on the West Windsor Township Tax Map as Block 27.06, Lot 128 (hereinafter referred to as the "Property").

FINDINGS REGARDING THE NATURE OF THE APPLICATION AND RELIEF SOUGHT:

2. The Applicants own a single-family located on the Property in the R-20 Residential Zoning District. They bought the Property in 2014. The Property is improved with a 2,260 square foot block patio and retaining walls in the rear of the Property. The coverage of the Applicants' single-family home together with the patio, retaining walls, paved driveway and walkways creates a 28.2% improvement coverage on the Property. In order to continue to have the 28.2% coverage, the Applicant requires the following bulk variance relief:

A. **Bulk Variance:**

Section 206-173.2E: Maximum Improvement Coverage ("MIC): The Applicants' Property is located in the R-20 Residential Zoning District. In this District, MIC is permitted up to 20% of the lot. As indicated above, the Applicants' lot has a 28.2% MIC. The Applicants therefore seeks a bulk variance for this existing condition.

FINDINGS REGARDING THE BOARD'S JURISDICTION:

3. The authority whether to grant the requested variance relief as noted hereinabove is vested in the Board pursuant to *N.J.S.A. 40:55D-70(c)*.

NOTICE AND PUBLICATION:

-
4. ~~The Applicant complied with the notice requirements of the New Jersey Municipal Land Use Law (MLUL) as follows:~~

- A. The Applicant obtained a list of all property owners within 200 feet of the Property which is the subject of this Application from West Windsor Township.
- B. The Applicant's form of notice adequately identifies the relief being sought. The notice includes a description of the Property, the nature of the variance relief sought, the time and place of the scheduled hearing and the time and place where the required submissions could be reviewed by the public prior to the hearing.
- C. The Applicant has filed an affidavit stating that the notice was given at least ten days in advance of the hearing date to the surrounding property owners and to the public entities required to be noticed. The Applicant has filed a proof of publication confirming that the newspaper publication was made in accordance with legal requirements.
- D. The notice of publication stated that a hearing would be held on the Application before the Board at its meeting on July 23, 2015. Jurisdiction was taken and the scheduled hearing was held on this date.

THE HEARING:

5. A public hearing on this Application was held before the Board on July 23, 2015.

EXHIBITS PRESENTED:

6. At the hearing, The Board considered the following exhibit: Exhibit B-1. A series of color photographs taken of the Property by Maser Consulting, PC.

STAFF REPORTS:

7. The following staff reports were considered by the Board at the hearing:
 - A. Maser Consulting, PC planning report dated July 15, 2015.
 - B. Mason Griffin & Pierson, PC legal report dated July 10, 2015.

WITNESSES:

8. The Board considered testimony offered by the following witnesses at the hearing:
- A. Vishal Narula, Applicant.
 - ~~B. Mamta Narula, Applicant.~~
 - C. Samuel J. Surtees, Manager, West Windsor Township Land Use Division.
 - D. John Madden, PP/AICP, Maser Consulting, PC, West Windsor Township Planning Consultant.
 - E. Gajanan Hegde, 12 Dickens Drive, Neighbor.

FINDINGS BASED UPON THE HEARING AND TESTIMONY:

9. Based upon the testimony presented, the application materials, the staff reports and the exhibit, the Board hereby makes the following additional findings:
- A. The Applicants are the owners of the Property.
 - B. The Property is located in the R-20 Residential Zoning District.
 - C. The Applicants purchased the Property in 2014 relying upon representations from the Seller and the Real Estate Broker that the Property complied with all West Windsor Township Regulations.
 - D. The Property is improved with the Applicants' single-family home and a large block patio/retaining walls in the rear creating a 28.2% MIC.
 - E. The Property is located on the northeast side of Dickens Drive adjacent to the West Windsor Township Greenbelt.
 - F. The Applicants and their family use and enjoy the patio in the rear of the property and are requesting permission of the Board not to be required to remove any of the patio area nor any other impervious surfaces on the property in order to satisfy the Zoning District maximum MIC (20%)
 - G. According to West Windsor Township records, there were no permits issued to the prior owner for the construction of the block patio and retaining walls.
 - H. The rear yard of the Applicants' property is well screened. There are no drainage impacts on any adjacent neighbors by virtue of the existence of the patio and

retaining walls. Storm water drains away from the house and patio to a wetlands area located in the corner of the Property. The Property is also immediately adjacent to the West Windsor Township Greenbelt.

- I. The patio is an attractive and usable feature of the Applicants' Property.

FINDINGS REGARDING THE LEGAL STANDARD TO BE APPLIED:

10. In evaluating the bulk variance for the MIC percentage requested by the Applicants, the Board should apply the following standard:

The Applicants must show to the Board's satisfaction that they have "peculiar and exceptional practical difficulties" or "exceptional and undue hardship" due to the existing size of the their deck, retaining wall or other impervious surfaces on their property in complying with the 20% MIC in the Zoning District. The Applicants must also demonstrate that by granting permission for the impervious surface to remain on the Property, that approval can be granted "without substantial detriment to the public good". Under Kaufman v. Planning Board of Warren Township, 110 New Jersey 551 (1988), the Applicant may persuade the Board to grant a flexible (c) 2 variance since the benefits of the deviation from the MIC requirements may substantially outweigh any detriment and that there will be no detrimental impact on any neighboring properties if the patio, retaining wall and other impervious surfaces and remain as it on the Property.

ADDITIONAL FINDINGS AND BASIS FOR DECISION:

11. The Board having made the above-referenced findings of fact voted seven (7) in favor (Abbey, Hoberman, Manzari, Church, Marks, VanDyke and Zohn) and none (0) opposed to grant to the Applicants the requested "c" bulk variance in order to permit the Applicants' Property to have a twenty eight and two-tenths (28.2%) MIC. This approval is granted for the following reasons subject to the following conditions:

- A. The Applicants did not install the impervious surface on the Property which created the 28.2% existing MIC. The impervious improvements on the Property, especially the patio and the retaining walls in the rear yard are tastefully done and enhance the usability of the Applicants' property. The Property abuts the West Windsor Township Greenbelt and is otherwise screened to the rear. Based upon the testimony from the Applicants' neighbor, there are not storm water drainage problems being created primarily in the rear of the Property by the patio and retaining walls. Storm water on the Property, in the rear, drains away from the house and patio to an area of wetlands on the rear corner of the Property and then into the greenbelt conservation area. Granting the requested relief will have no substantial negative impact on any of the adjacent neighbors or be disruptive to

the zone plan for the R-20 residential zoning district wherein the Property is located.

B. This approval is granted, however, subject to the following conditions:

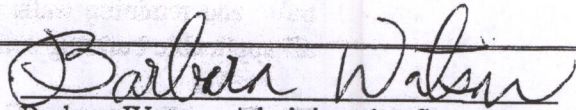
1. The West Windsor Township Construction Official shall inspect the block patio and retaining walls to ensure that these improvements comply with ~~all applicable building codes and safety requirements.~~
2. The Board Engineering Consultant shall inspect the Property to verify that storm water drainage works properly on the Property and is not negatively impacting any of the neighboring properties.
3. The Applicant shall pay to the Township of West Windsor any and all Application fees, escrow fees, real estate taxes, surcharges and other municipal charges associated with this Application for the Property within (thirty) 30 days of the date of the adoption of this Memorializing Resolution.

CONCLUSION

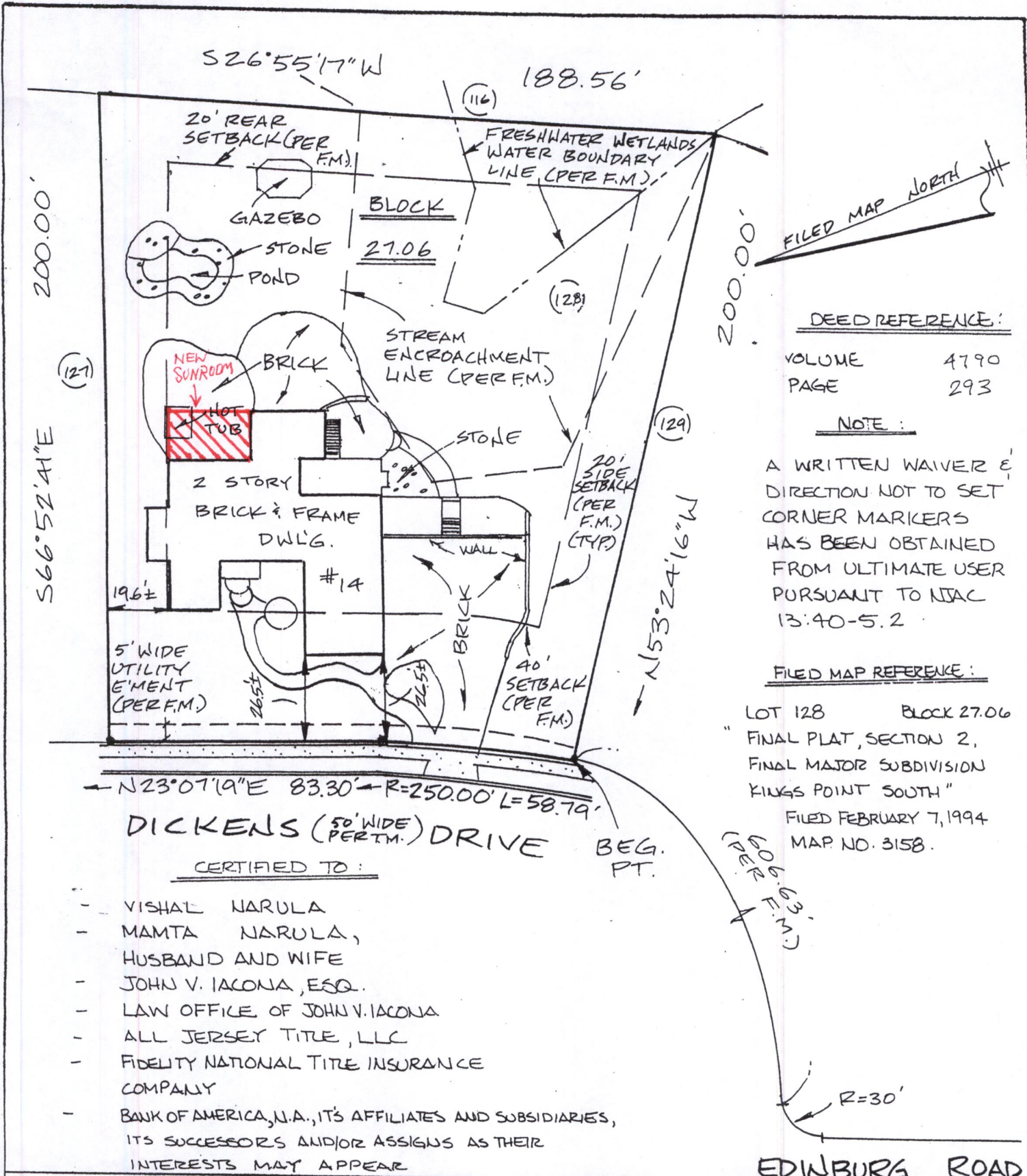
For the reasons set forth hereinabove, the Board at its meeting on July 23, 2015 unanimously approved the above-referenced application. The date of this decision shall be July 23, 2015 except that the date of the adoption of this memorializing Resolution on October 1, 2015 shall be the date of the decision for purposes of (1) mailing a copy of this decision to the Applicants within ten (10) days of the date of decision; (2) filing a copy of this decision with the Administrative Officer; and (3) publishing a notice of this decision.

CERTIFICATION

I, Barbara Watson, Administrative Secretary to the West Windsor Township Zoning Board of Adjustment do hereby certify that the above Resolution was adopted by the Board at its regular meeting held on October 1, 2015. This Resolution memorializes the Board's approval of this matter at its meeting on July 23, 2015.



Barbara Watson, Administrative Secretary
West Windsor Township
Zoning Board of Adjustment



DEED REFERENCE:
 VOLUME 4790
 PAGE 293

NOTE:
 A WRITTEN WAIVER IN
 DIRECTION NOT TO SET
 CORNER MARKERS
 HAS BEEN OBTAINED
 FROM ULTIMATE USER
 PURSUANT TO NJAC
 13:40-5.2

FILED MAP REFERENCE:
 LOT 128 BLOCK 27.06
 " FINAL PLAT, SECTION 2,
 FINAL MAJOR SUBDIVISION
 KINGS POINT SOUTH "
 FILED FEBRUARY 7, 1994
 MAP NO. 3158.

DICKENS (50' WIDE PER T.M.) DRIVE

CERTIFIED TO:

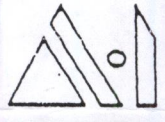
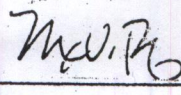
- VISHAL NARULA
- MAMTA NARULA,
HUSBAND AND WIFE
- JOHN V. IACONA, ESQ.
- LAW OFFICE OF JOHN V. IACONA
- ALL JERSEY TITLE, LLC
- FIDELITY NATIONAL TITLE INSURANCE
COMPANY
- BANK OF AMERICA, N.A., ITS AFFILIATES AND SUBSIDIARIES,
ITS SUCCESSORS AND/OR ASSIGNS AS THEIR
INTERESTS MAY APPEAR

LEGEND... I.P. FND. I.P. TO BE MARKED MON. FND. MON. TO BE MARKED

REPRODUCTION OF THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL
 THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.

THIS SURVEY MAY NOT SHOW UNDERGROUND UTILITIES, AND/OR EASEMENTS, WETLANDS AND/OR WATERCOURSES, NEW JERSEY TIDELANDS CLAIM LINE,
 SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS, LOCAL MUNICIPAL AND/OR ZONING ORDINANCES.

THIS CERTIFICATE IS MADE ONLY TO HEREON NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY BELOW NAMED PURCHASER. NO LIABILITY WILL BE ASSUMED IF
 PAYMENT IS NOT RECEIVED FROM ABOVE NAMED PURCHASER OR HIS/HER AGENT(S) WITHIN 60 DAYS OF CLOSING DAY. THIS SURVEY IS NOT TO BE USED FOR LAND CLEARING, LANDSCAPING, CONSTRUCTION
 OF FENCES OR ANY OTHER STRUCTURES, SURVEY AFFIDAVITS, RESALE/REFINANCE OF PROPERTY OR BY ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. NO
 RESPONSIBILITY OR LIABILITY IS ASSUMED BY BELOW NAMED SURVEYOR OR A-1 LAND SURVEYS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE THAN ITS INTENDED USE.

	A-1 LAND SURVEYS, INC. PROFESSIONAL LAND SURVEYORS BOX 1192 TRENTON, NJ 08606 A1LS.COM	DATE 3-25-14	PLAN OF SURVEY FOR VISHAL NARULA & MAMTA NARULA, HUSBAND AND WIFE 14 DICKENS DRIVE WEST WINDSOR TOWNSHIP MERCER COUNTY, NEW JERSEY
	IN NEW JERSEY: PHONE 1-800-CALL (4) A-1 1-800-225-5421 FAX 1-800-995-5421 CERT. OF AUTH. NO. GA180639	IN PENNA: PHONE 1-215-493-9742 FAX 1-215-493-9743 45 EAST AFTON AVENUE, YARDLEY, PA 19067	
 3-25-14		TITLE NO. SDL- 019685	REVISIONS
MAX V. RAFFAELE NJ PROFESSIONAL LAND SURVEYOR		ORDER NO 114- 48532	TAX MAP DATA LOT 128 BLOCK/SECT 27.06 SHEET 33.03

NARULA RESIDENCE

Chapter 26 Light Transmitting Plastic Roof Panels (CCI ASTM D635)

Sheet 25mm. (Polycarbonate Roof Panel. (See BOCA Evaluation Report 21-41)

- o Approved Light Transmitting Plastic Section 2604.1 Section 2606
- o Light Transmitting Plastics Section 2606.2 (See BOCA Evaluation Report 21-41)
- o Approval For Use Section 2606.3
- o Identification Section 2606.4
- o Specifications Section 2606.5 (See GE Structural and Technical Data Report)
- o Structural Requirements Section 2606.6 (See GE Structural and Technical Data Report)
- o Fastening Section 2609.1
- o General Section 2609.2 (Not Required)
- o Separation Section 2406.1
- o Human Impact Loads
- o ASTM D1929, ASTM D2843
- o ASTM D635, ASTM E331
- o ASTM E773, ASTM E774
- o ASTM E84 SMOKE DENSITY 275
- o ASTM E84 FLAME SPREAD 120
- o ASTM E1886, E1996 (ATI Testing Lab. Report 5212.01-122-44)
- o UL Rating UL746B 212 DEG F
- o U= .32 R=3

Glass Sealed Units Specifications (ATI Test Report 01-46690.01)

- o ANSI/AAMA/NWDA 101/IS.2-97
- o AAMA Rating DA-C55 48 x 74
- o ASTM E283-99 Glass Air Infiltration
- o ASTM E547 Water Resistance
- o ASTM 588 Forced Entry
- o E330-97 Uniform Load Deflection and Structure

Safety Tempered Glass Specification

- o ANSI Z97.1-1984
- o SGCC 300 3MMU
- o 16FR 1201 IT
- o 4903

The sunroom complies with the following codes, specifications and testing requirements

- * Construction Classification VB Section 602.5 (Low Hazard Occupancy)
- * Construction Classification R3 IBC&NY Section 310
- * Construction Classification R5 New Jersey Residential Code
- * Fire Resistive Rating =0 Table 601
- * Single Family Dwelling

International Residential Code/IRC NJ Edition N.J./A.C.5: 23-3.21 2018

New Jersey Residential Code 2018

International Building Code IBC 2018

- * R301 Building Planning and Geographic Design Criteria
- * R302.1 Exterior Walls
- * R302.2 Openings
- * R308.5 Site Built Windows
- * R315 Flame Spread and Smoke Density
- * And All Applicable Codes

International Energy Conservation Code 2018

Table 502.2.5(e)

SUPPORTING STRUCTURE DESIGN LOADS/CRITERIA

- DEAD LOADS
- WEIGHT OF ROOF VARIES WITH PRODUCT 3-12 PSF
- WEIGHT OF WALLS 5 PSF
- WEIGHT OF FLOOR 10 PSF
- SNOW LOADS
- ROOF SNOW LOAD 40 PSF
- SNOW EXPOSURE FACTOR 1.0
- THERMAL FACTOR 1.2
- SNOW LOAD IMPORTANCE 1.0
- LIVE LOADS
- ROOF FLOOR 20 PSF
- FLOOR 40 PSF
- WIND LOADS
- BASIC WIND SPEED 130 MPH
- GUST EFFECT FACTOR (G) 0.85
- WIND IMPORTANCE FACTOR 1.0
- WIND EXPOSURE C
- SOILS AND FOUNDATIONS
- ALLOWABLE FOUNDATION PRESSURE 1500PSF
- FROST DEPTH 36"
- CONCRETE 3000 PSI
- DEFLECTION LIMITS
- ROOF MEMBERS L/240
- EXTERIOR WALLS L/120

R301.2.1.1.1 Sunroom is Category IV. A Sunroom with enclosed walls. The Sunroom is designed to be heated and cooled and is closed to the main structure. The sunroom fenestration complies with additional requirements for water-penetration resistance, air infiltration resistance, and thermal performance. The space is habitable and conditioned.

ALL COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND DETAILS AND SHALL ADHERE TO ALL APPLICABLE CODES

SCALE 1inch = 4ft
DATE

RESIDENTIAL ADDITION
NARULA RESIDENCE
14 DICKENS DR PRINCETON JUNCTION

TITLE PAGE

Project No. NAME
Drawn By
Checked By:
Date
Scale

N.J.S.A.
1199 Rt 22 EAST
MOUNTAINSIDE
N.J 07092

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A-1

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO VERIFY AND BECOME AWARE OF EXISTING CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF GARBAGE, EXCESS DEBRIS AND UNUSED MATERIALS. THE SITE SHALL BE LEFT IN ITS ORIGINAL CONDITION. THE CONTRACTOR SHALL GET THE OWNERS APPROVAL BEFORE REMOVING ANY EXCESS MATERIALS.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN ORDERLY, CLEAN CONSTRUCTION SITE AND SHOULD MINIMIZE ANY INCONVENIENCE OR INTRUSION TO THE OWNER. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED AT ALL TIMES.
4. THE CONTRACTOR SHALL PROVIDE FULL PROOF OF LICENSE AND INSURANCE, INCLUDING CERTIFICATES OF INSURANCE FROM ALL SUBCONTRACTORS UNDER THIS CONTRACT.
5. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS IN THE FIELD. IF THERE IS ANY VARIATION FROM THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING. DO NOT SCALE DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS WITH THE LOCAL BUILDING DEPARTMENT AND PROVIDE THE OWNER WITH COPIES OF ALL APPROVALS OF SUCH INSPECTIONS BEFORE PROCEEDING TO THE NET PHASE OF CONSTRUCTION.
7. VERIFY LOCATION OF UNDERGROUND UTILITIES WITH LOCAL TELEPHONE & GAS COMPANIES AS WELL AS WATER & SEWER DEPARTMENTS BEFORE COMMENCEMENT OF ANY ECAVATION.
8. ALL FOOTINGS SHALL BE A MINIMUM DEPTH REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND THE APPLICABLE STATE CODE. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL. STEP FOOTINGS AS REQUIRED TO MAINTAIN MINIMUM FOOTING DEPTH. THE CONTRACTOR SHALL VERIFY, WITH TEST PITS AND ANY MEANS NEXCESSARY THAT ALL EXISTING FOOTINGS & FOUNDATIONS RELATING TO THE SUPPORT OF ANY AND ALL NEW STRUCTURES ARE IN SOUND CONDITION AND MEET THE MINIMUM DEPTH REQUIREMENTS OF THE LOCAL BLDG. DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SUCH CONDITIONS TO THE ARCHITECT.
9. CONCRETE SHALL DEVELOP A STRENGTH OF 3000 PSI IN 28 DAYS
~~FOR SUNROOMS THAT ARE BUILT ON SLAB THE FOLLOWING NOTES 10 & 11 APPLY. SEE SHEET A-5 FOR DETAILS~~
10. EARTH FILL UNDER CONCRETE SLABS SHALL BE FREE FROM WATER AND HAZARDOUS MATERIALS. ALL BACKFIELD BENEATH CONC. SLABS SHALL BE WELL TAMPED AND COMPACTED BEFORE SLABS ARE POURED.
11. MASONRY MATERIALS AND INSTALLATION SHALL COMPLY WITH BLDG. CODE REQUIREMENTS FOR MASONRY AND THE MOST RECENT APPLICABLE STATE CODE.
12. ALL LUMBER USED IN CONSTRUCTION SHALL BE DOUGLAS FIR #2 OR BETTER MINIMUM Fb =1200 PSI AND E = 1.1 X 1000000. ALL STRUCTURAL HEADERS AND GIRDERS SHALL HAVE 4 X 4 OR 6 X 6 POSTS AT EACH END AS REQUIRED BY STUD SIZES.
13. ALL LUMBER SHALL BE EXTERIOR GRADE. AS REQUIRED ALL EXTERIOR STEEL, JOIST HANGERS, LAG BOLTS, NAILS AND SCREWS SHALL BE GALVANIZED. SIMPSON CONNECTORS (HOT DIPPED) & SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND DETAILS
14. ALL WINDOWS, DOORS AND OPENINGS THAT REQUIRE STRUCTURAL HEADERS SHALL MEET MINIMUM REQUIREMENTS AS SHOWN IN GIRDER SCHEDULE.
15. ALL EXTERIOR OPENINGS SHALL BE CAULKED, FLASHED AND WEATHER-STRIPPED.
16. ALL PLUMBING WORK SHALL CONFORM WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND THE MOST RECENT ADDITION OF THE APPLICABLE STATE CODE. ALL PLUMBING WORK SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR.
17. HVAC NOTE: ALL HVAC COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES
18. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL FIRE PROTECTION AGENCY (N.F.P.A.), NATIONAL ELECTRIC CODE (N.E.C.) AND THE LOCAL UTILITY COMPANY.
19. ALL DOORS AND WINDOWS TO UNHEATED SPACES SHALL BE INSULATED AS PER LOCAL AND STATE CODES.
20. THE SUN ROOM SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURERS SPECIFICATIONS AND DETAILS
- ALL WINDOWS SHALL MEET THE MINIMUM LIGHT, VENTILATION AND EGRESS REQUIREMENTS SET FORTH BY LOCAL AND STATE CODES. ALL WINDOWS SHALL BE DOUBLE GLAZED. VERIFY ALL CATALOG NUMBERS IN THE FIELD.
21. A VAPOR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF ALL CONSTRUCTION.
22. INSULATION SHALL BE INSTALLED IN ALL FRAMED WALLS BETWEEN HEATED AND UNHEATED SPACES AS PER LOCAL, STATE, AND CONSERVATION CONSTRUCTION CODES. WHERE APPLICABLE CONCRETE SLAB INSULATION SHALL BE 2" STYROFOAM.
- 22A. PROVIDE VENT BLOCKS IN CRAWL SPACE AS REQ'D WHEN APPLICABLE.
23. THE CONTRACTOR SHALL VERIFY, THROUGH PROFESSIONAL LABORATORY TESTING, IF ANY ASBESTOS OR LEAD IS CONTAINED IN ANY MATERIALS TO BE DISTURBED OR REMOVED. IF SUCH MATERIALS ARE FOUND THE CONTRACTOR SHALL PROVIDE A LICENSED PROFESSIONAL TO EXECUTE REMOVAL. THE CONTRACTOR SHALL SUPPLY TO THE OWNER PROOF OF LICENSING AND RECEIPTS OF PROPER DISPOSAL.
24. THE WORD " PROVIDE " MEANS THE CONTRACTOR SHALL SUPPLY AND INSTALL.
25. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL AND STATE CODES.
26. THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING SITE CONDITIONS MEET LOCAL CODES, BULK REQ'MNTS AND STATE CODES. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE AND SURVEY INFORMATION. ALL CORRESPONDENCE WITH THE LOCAL TOWN RELATING TO BULK REQUIREMENTS, PERMITS, VARIANCES ETC.. IS THE RESPONSIBILITY OF THE CONTRACTOR.
27. ALL NEW CONSTRUCTION SHALL ALIGN AND MATCH EXISTING.
28. THE CONTRACTOR IS RESPONSIBLE FOR ACCURATELY REPORTING EXISTING CONDITIONS AS SHOWN ON THE PLANS. INCLUDING BUT NOT LIMITED TO: STRUCTURAL HEADERS AND ALL STRUCTURAL COMPONENTS FRAMING MEMBERS IN FLOORS, WALLS AND CEILINGS FOUNDATIONS, FOOTINGS AND STRUCTURAL CONNECTORS NOTIFY ARCHITECT OF CHANGES AND/OR DISCREPANCIES.
29. TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGMENT THESE DRAWINGS CONFORM TO THE FOLLOWING CODES: INTERNATIONAL RESIDENTIAL CODE 2015, NJ EDITION
30. ENERGY CONSERVATION CODE REFERENCE: THERMAL ISOLATION MUST BE MAINTAINED WITH A CODE APPROVED THERMAL BARRIER PROVIDE EXTERIOR GRADE DOORS/ WINDOWS WITH ARGON-FILLED, LOW-E INSULATING GLASS, EXTERIOR GRADE FINISH & CORROSION RESISTANT HINGES AS MANUFACTURED BY "PELLA" OR EQUAL. HVAC PROVIDED SHALL BE ON A SEPERATE ZONE OR A SEPERATE SYSTEM FROM THE MAIN STRUCTURE.

RESIDENTIAL ADDITION
NARULA RESIDENCE
 14 DICKENS DR PRINCETON JUNCTION

Project No.
 Drawn By
 Checked By:
 Date
 Scale

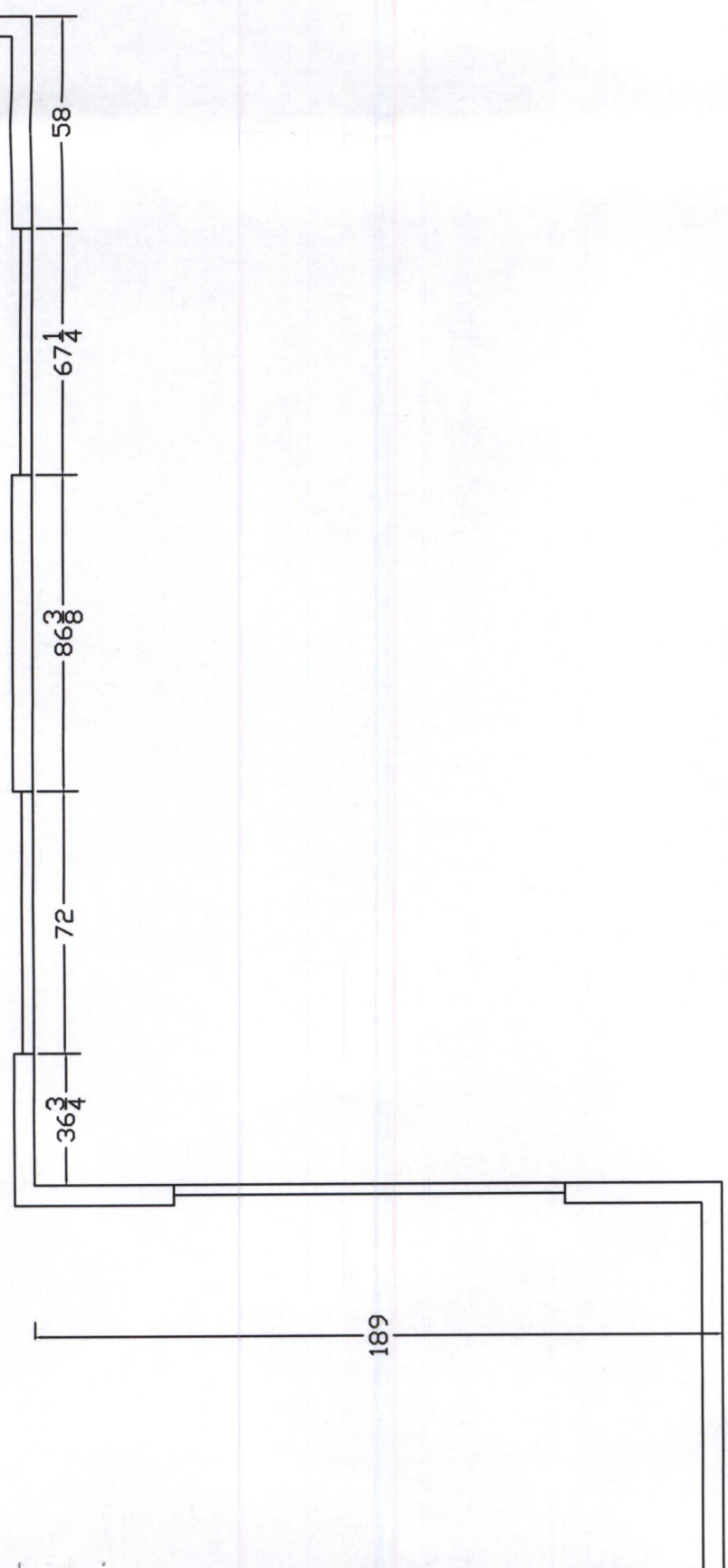
N.J.S.A.
 1199 Rt 22 EAST
 MOUNTAINSIDE
 N.J 07092

CIRANGLE ARCHITECTS
 License No 10677
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A-2

SCALE 1/4" = 4ft
 DATE

GENERAL NOTES



SCALE 1/4" = 4ft
 DATE _____

I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.
 SIGNED _____
 PRINT _____
 DATE _____

N.J.S.A.
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NARULA RESIDENCE
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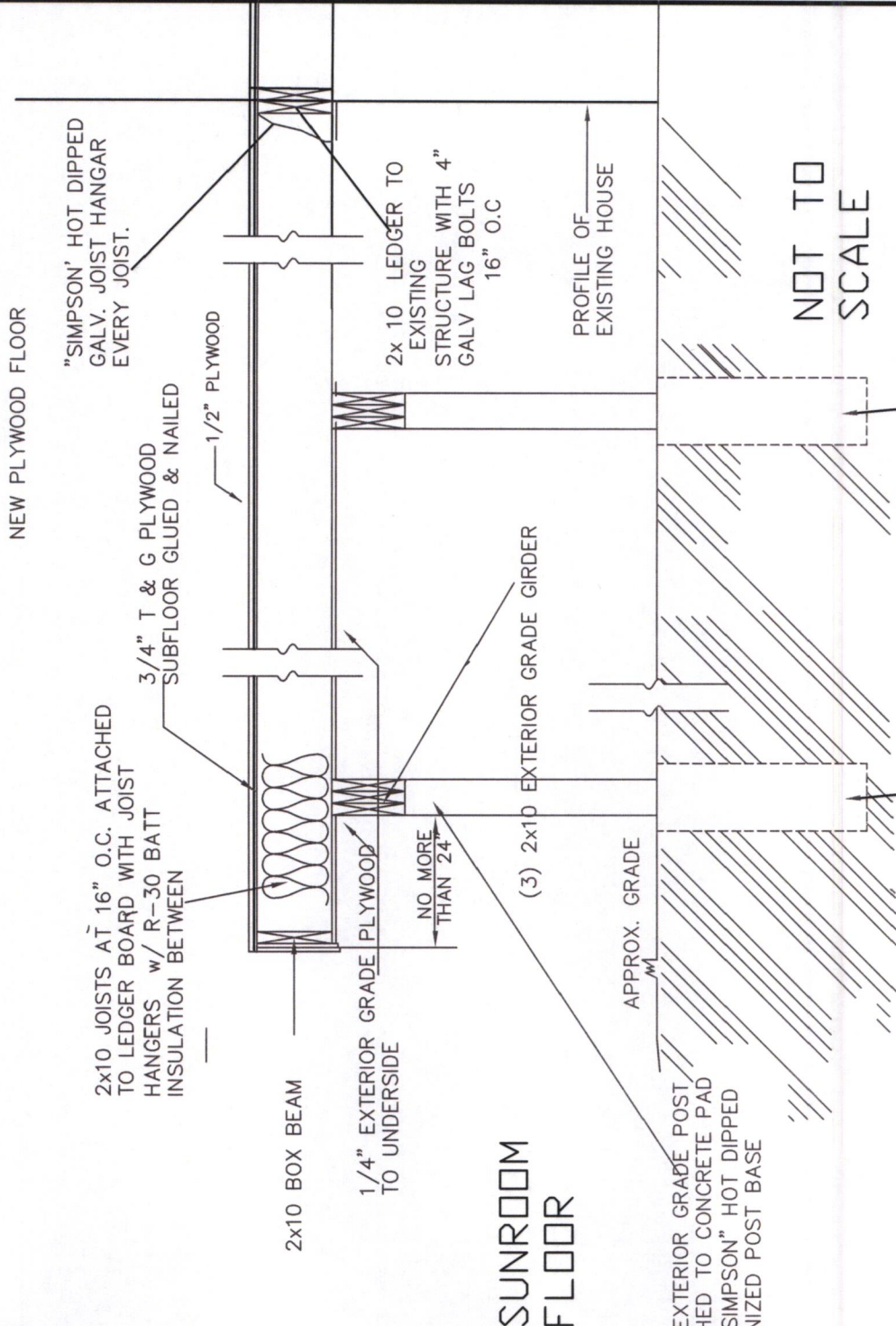
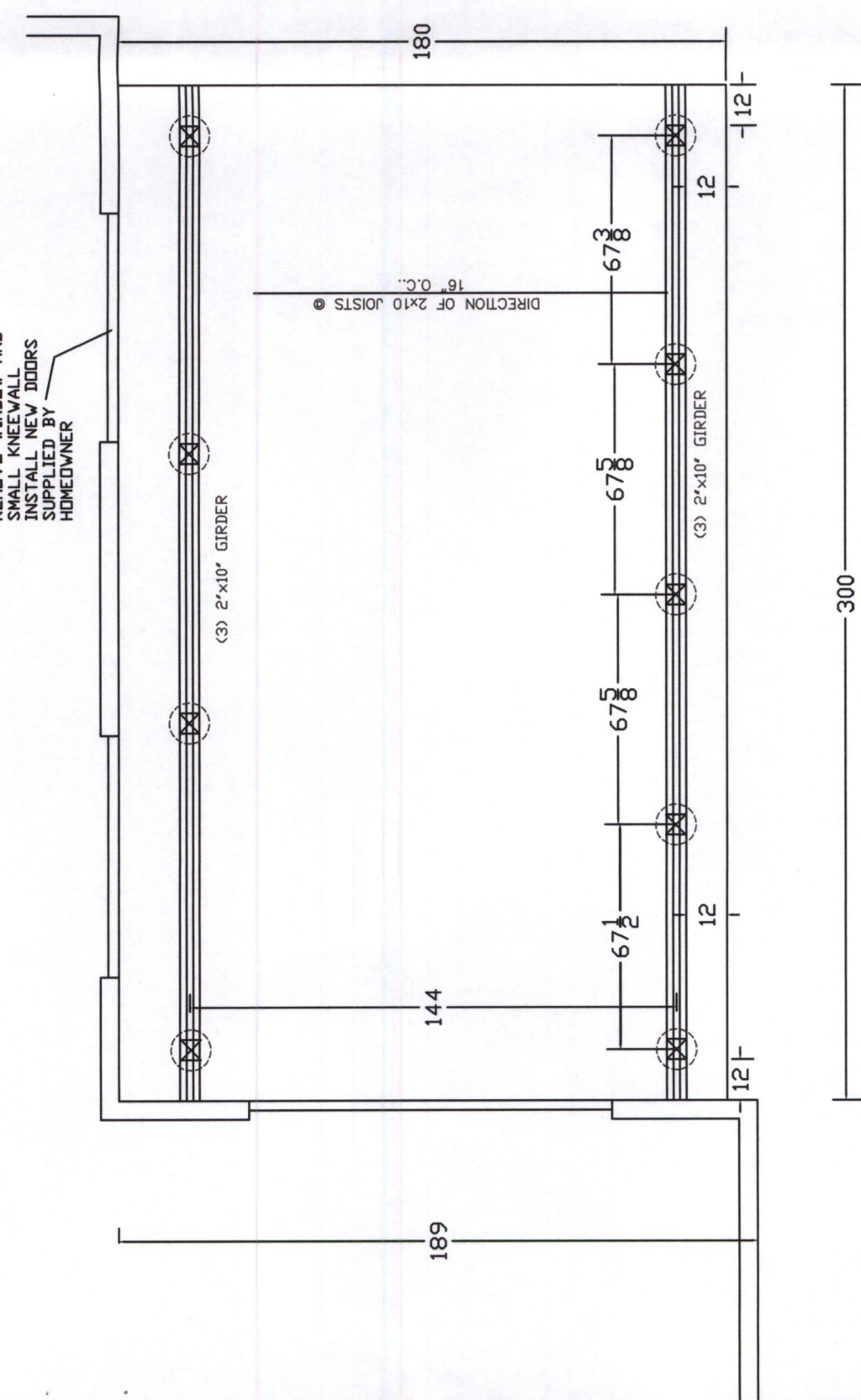
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A-3

ATTACHMENT SCHEDULE	
POST TO BEAM	SIMPSON MODEL # LPC6 8-10D FASTENERS
POST TO FOOTINGS	SIMPSON MODEL # ABA66 8-10D FASTENERS
JOISTS TO BEAM	SIMPSON MODEL # LTS16 8-10D FASTENERS
JOISTS TO LEDGER	SIMPSON MODEL # LUS28 8-10D FASTENERS
LEDGER TO HOUSE	4" GALVANIZED LAG BOLTS AND WASHERS @ 16" O.C

(3) 2"x10" GIRDER ON 6"x6" POSTS FOOTINGS TO BE 36" BELOW GRD TYP	SUNROOM
---	---------

JOIST SCHEDULE	
SPAN	SPACING SIZE
12'	16" O.C 2"x10"



SUNROOM FLOOR

NOT TO SCALE

SCALE 1/4" = 4ft
DATE

14" 'SONOTUBE' FOOTING 36" BELOW GRADE 3000 PSI CONCRETE TYP
14" 'SONOTUBE' FOOTING 36" BELOW GRADE 3000 PSI CONCRETE TYP

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PRINT _____
DATE _____

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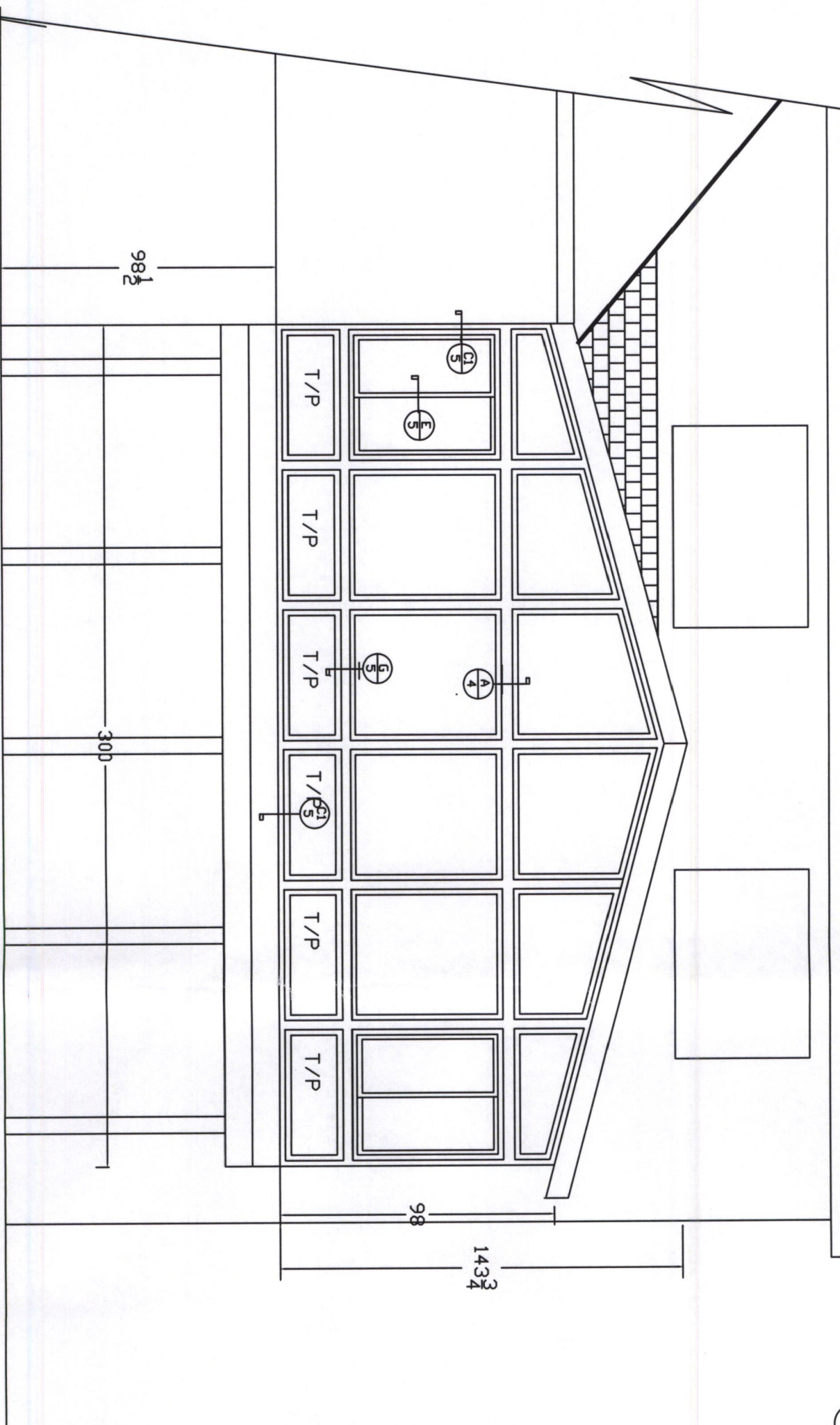
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A-4

FOR ALL FRAME CONNECTIONS REFER TO LIVINGSPACE SUNROOM DRAWINGS AS NOTED (TYPICAL)

1/4 DETAIL NUMBER SHEET NUMBER

T/P = TEMPERED GLASS



SCALE 1/4" = 4'-0"
DATE _____

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SIGNED _____
PRINT _____

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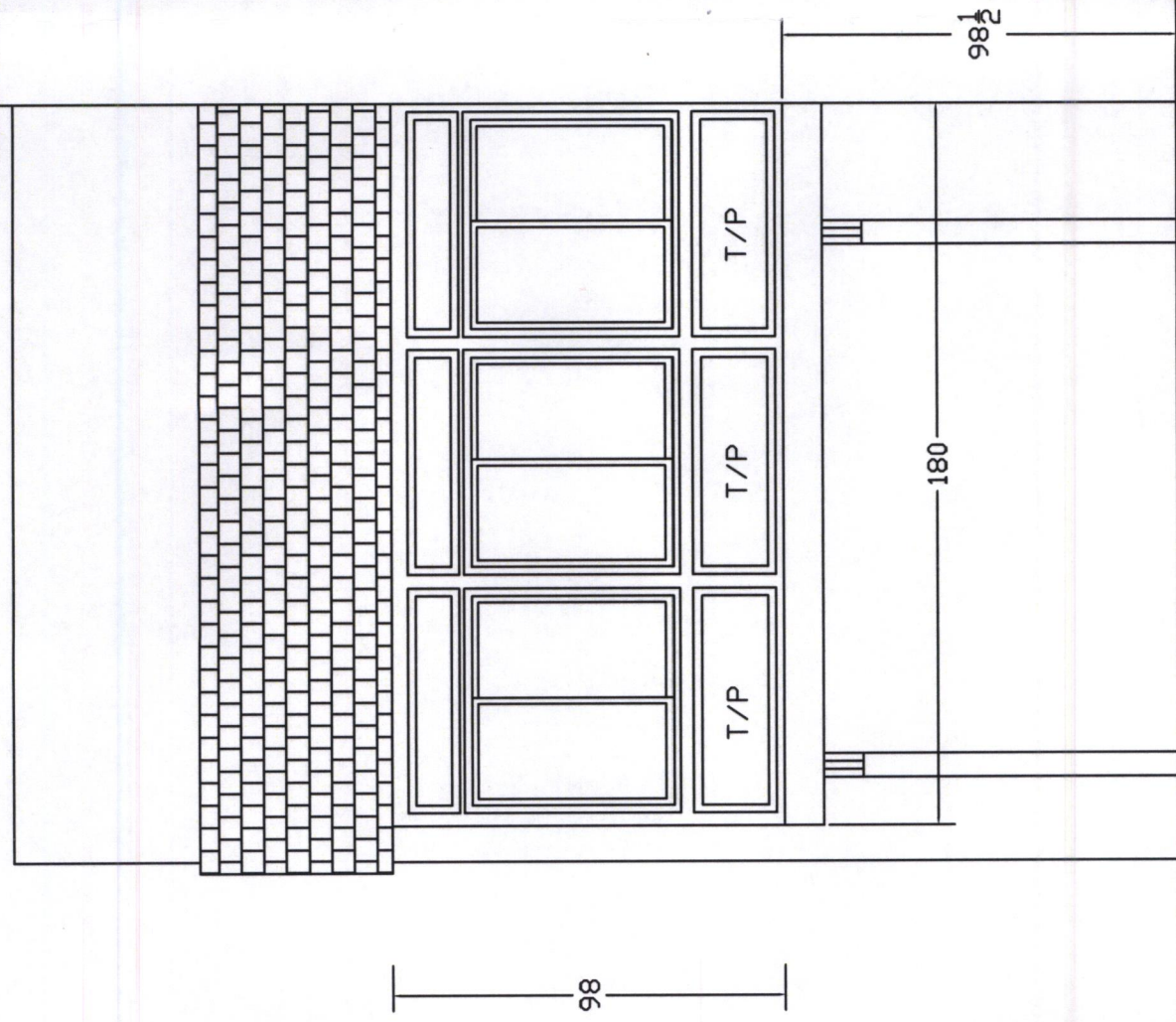
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A-5



SCALE 1/4 inch = 4ft
 DATE _____

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A-6

2" x 6" ledger board attached to existing house wall with 4" x 1/2" GALV lag bolts @16" O.C.

(2) 2" x 8" attached to existing house wall into existing studs using 6" ledgerlok screws @16" O.C.

2" x 10" sleeper to lay on top new roof

2" x 10" sleeper to lay on top new roof

2" x 6" ledger board attached to existing house wall with 4" x 1/2" GALV lag bolts @16" O.C.

STRIP EXISTING SHINGLES BACK, APPLY ICE & WATER BEHIND SHINGLES AND OVER DECK SHEATHING

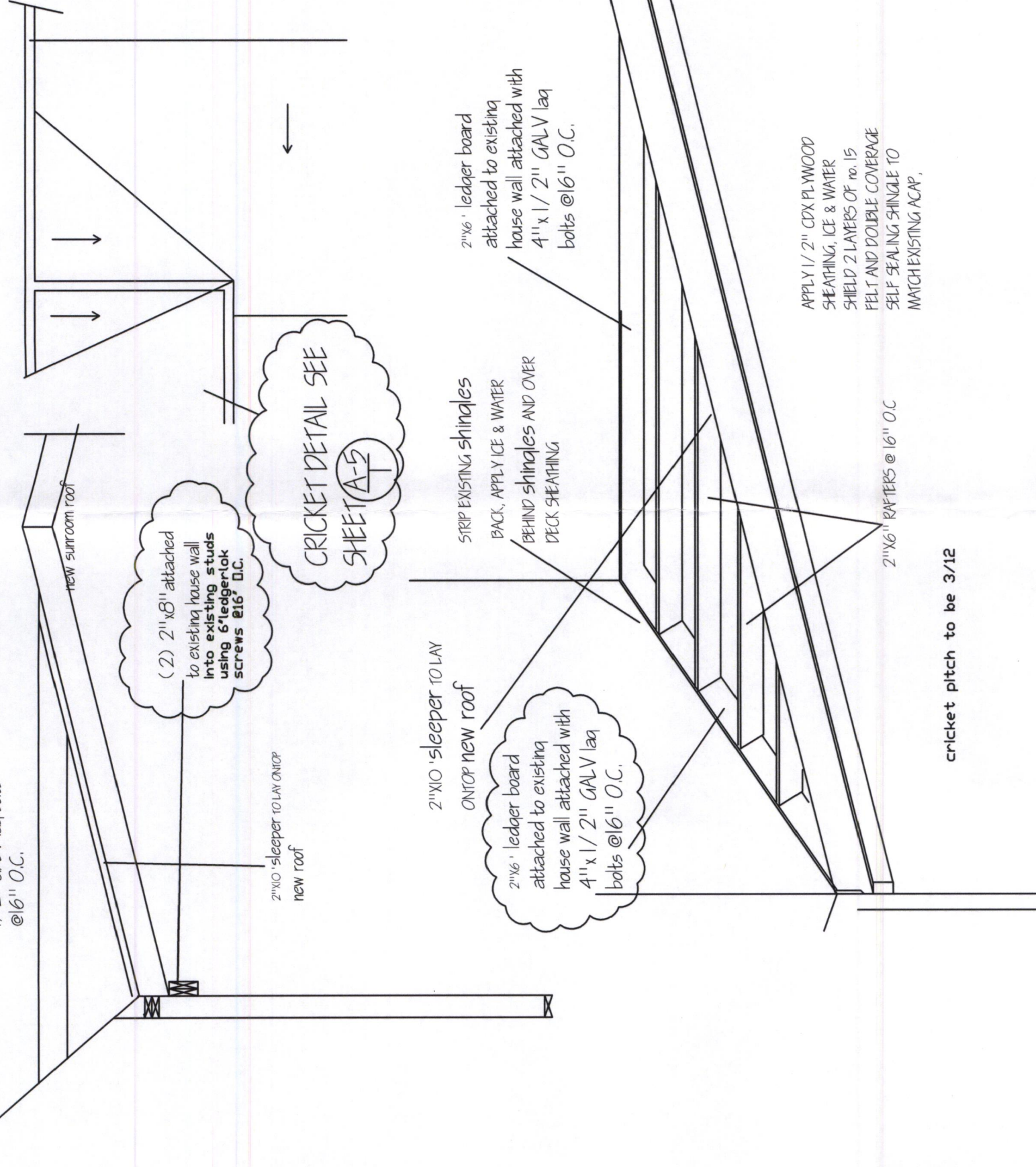
2" x 6" ledger board attached to existing house wall with 4" x 1/2" GALV lag bolts @16" O.C.

APPLY 1/2" CDX PLYWOOD SHEATHING, ICE & WATER SHIELD 2 LAYERS OF no. 15 FELT AND DOUBLE COVERAGE SELF SEALING SHINGLE TO MATCH EXISTING ACAP.

2" x 6" RAFTERS @ 16" O.C.

cricket pitch to be 3/12

cricket pitch to be 3/12



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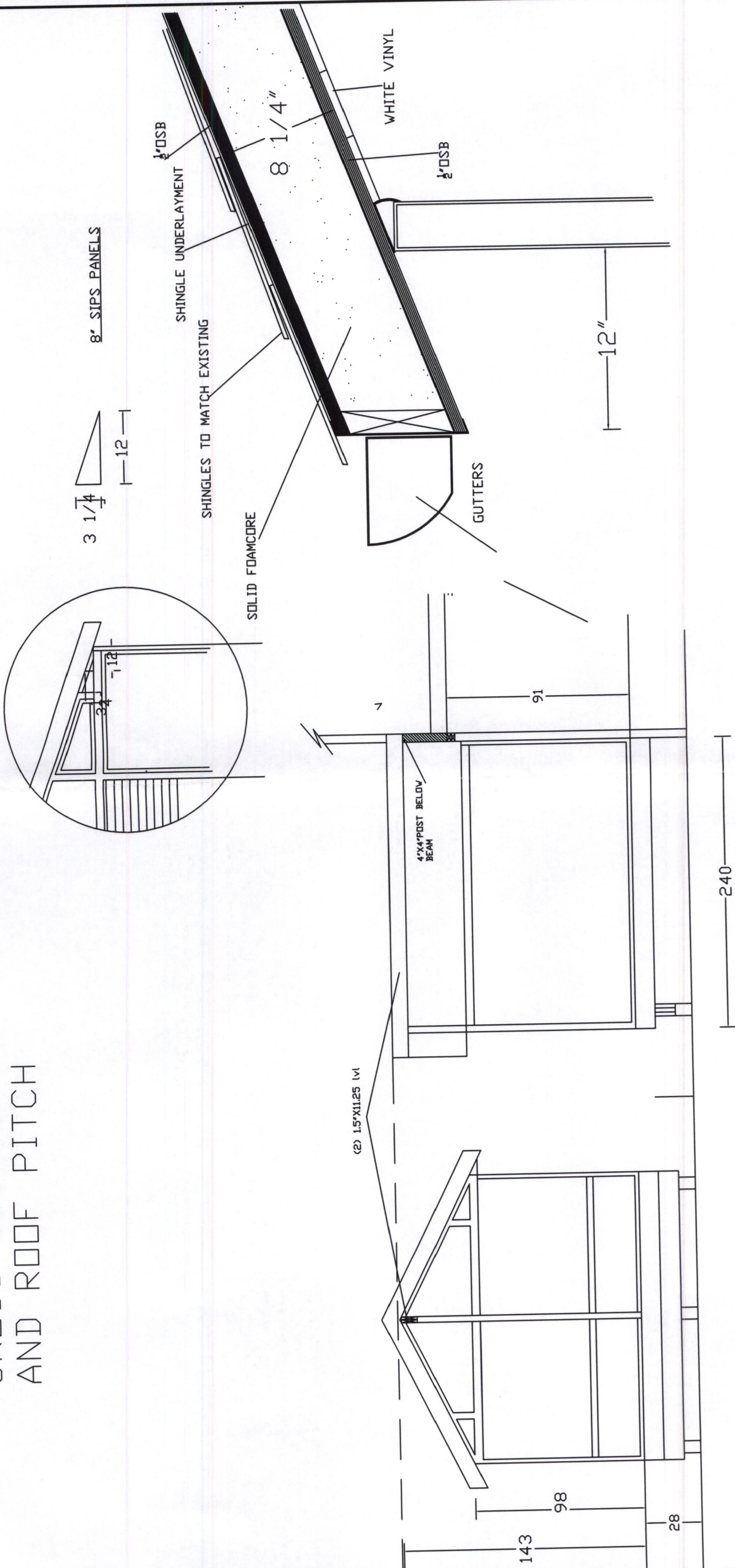
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A-7

CROSS SECTION OF SIPS PANEL AND ROOF PITCH



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DATE _____

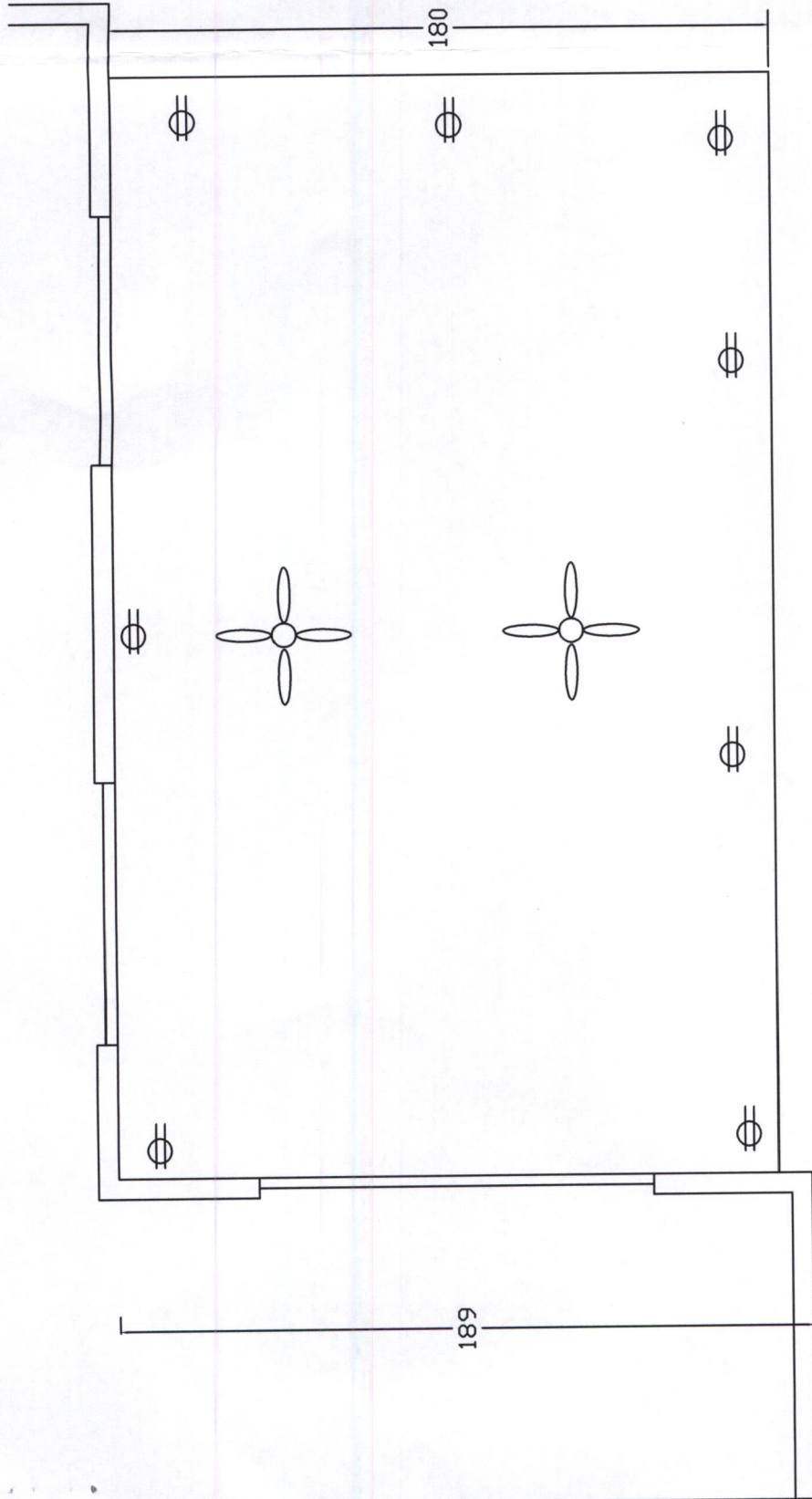
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A-8



⊖ OUTLETS

⊗ FAN/LIGHT

☀ EXTERIOR LIGHT

⌋ SWITCH

● RECESSED LIGHTS

ELECTRICAL NOTES

1. This project shall comply with the code requirements as per the National Electrical Code (NFPA 70) 2017
2. All electrical devices are shown for architectural location only. The Electrical Subcontractor is responsible for actual device location, circuitry, adequacy, and quantities

SCALE 1/4" = 4ft
DATE

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E-1

West Windsor Township

Department of Community Development - Division of Land Use

RESIDENTIAL CONFORMITY CHECKLIST

VISHAL NARULA 14 DICKENS DRIVE 27.06 128
Owner's Name Address Block Lot

Property Survey to show:

- A. Building location, including all existing structures or additions, pools and fences
- B. Easements
- C. Septic location (if applicable)
- D. Overall lot dimensions
- E. Proposed improvements, drawn to scale indicating dimensions and distances from side, rear and front yards

Complete areas below as appropriate (fences, sheds and decks exempt):

- A. Area of lot 27591 Sq. Ft.
- B. Area of existing residence, excluding garage
(include all floors except basement, unless
basement is used as "living" space) 3844 Sq. Ft.
- C. Area of first floor 2323 Sq. Ft.
- D. Area of garage 576 Sq. Ft.
- E. Area to be constructed or improved
(addition, renovation or basement) 375 Sq. Ft.
- F. Area of existing paved surfaces on lot
(i.e. paved driveway, walkway to house,
excluding public sidewalk) 2279 Sq. Ft.
- G. Area of proposed paved surfaces
(e.g. new driveway, walkways, patios, etc.) 2279 Sq. Ft.

NO CHANGE
SUN ROOM
OVER PAVED
ARE IN "F"

OFFICIAL USE ONLY

Maximum Improvement Coverage

%

Floor Area Ratio

%